covenant living at the SHORES

THW DESIGN

Conceptual Design

July 13, 2023

Proposed Platform
Google Earth

Site Diagram

Conceptual Aerial Perspective

Diagrammatic Stacking Plans

Area Summary by Level & Type of Space

Area Summary

Total square footage per level:

Terrace Level

- Conditioned – 26,598sf
- Exterior Covered – 864sf (3,566sf @ 50%)
- Under-building Parking – 29,250sf

First Floor Level

- Conditioned – 22,498sf
- Exterior Covered – 4,468sf (3,566sf @ 50%)

Second Floor Level

- Conditioned – 9,888sf
- Exterior Covered – 240sf (3,566sf @ 50%)

Third Floor Level

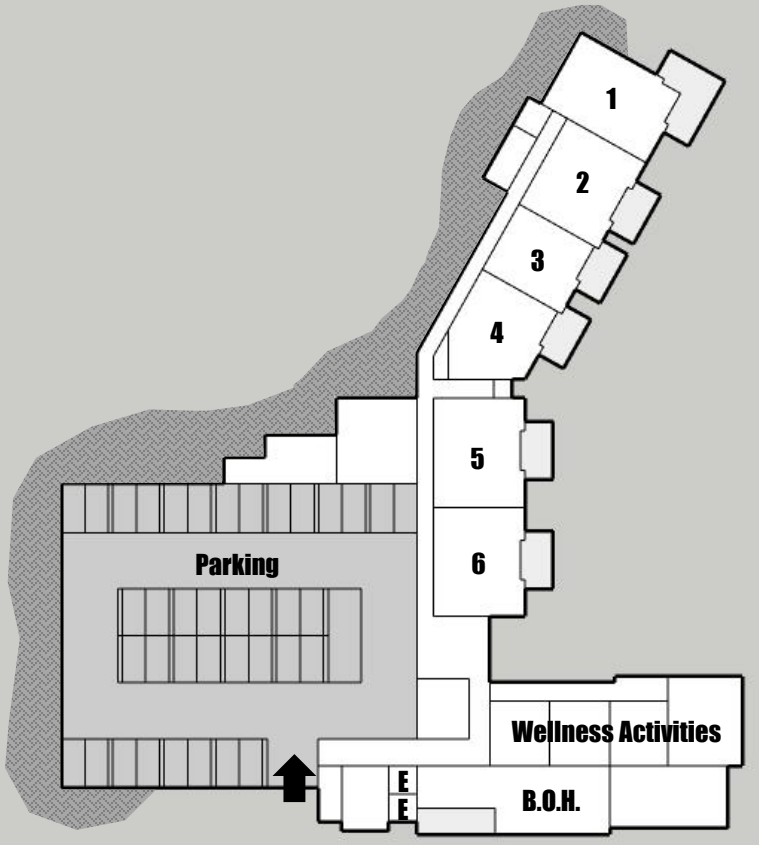
- Conditioned – 9,348sf
- Exterior Covered – 780sf (3,566sf @ 50%)

Fourth Floor Level

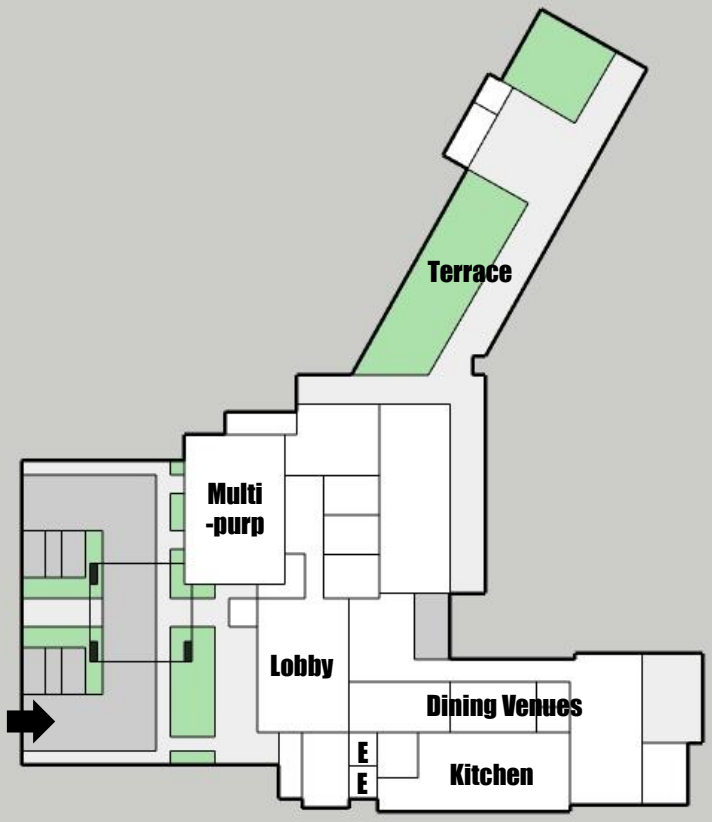
- Conditioned – 9,348sf
- Exterior Covered – 780sf (3,566sf @ 50%)

Totals by category:

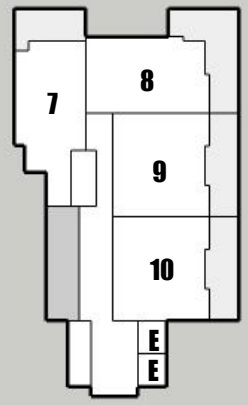
- Conditioned – 77,680sf
- Exterior Covered – 7,132sf (3,566sf @ 50%)
- Under-building Parking – 29,250sf



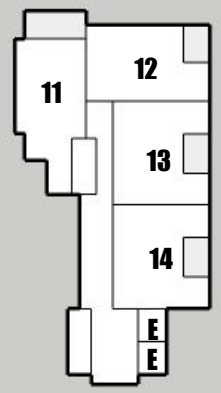
Terrace Level Plan



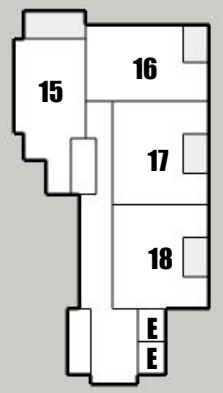
First Level Plan



Second Level Plan



Third Level Plan



Fourth Level Plan

BREAKDOWN OF COMMONS PROGRAM

Main Level:

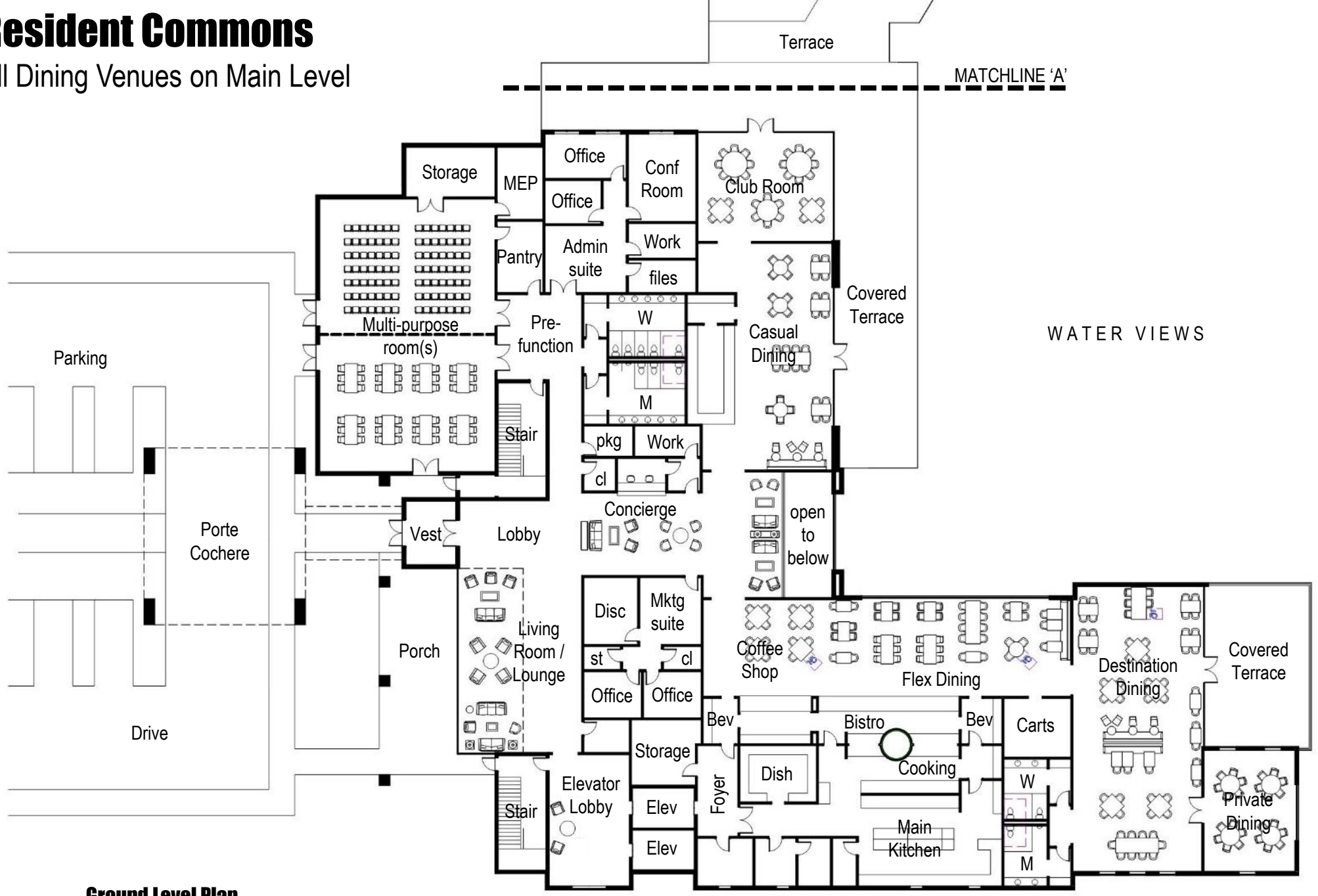
(M) Administration Spaces	3,200nsf
(M) Resident Activities	6,100nsf (of which 2,400nsf MP)
(M) Dining Venues	5,200nsf
(M) Kitchen Spaces	3,300nsf

Terrace Level:

(T) Wellness Center	3,340nsf
(T) Back of House & Service	3,000nsf

Resident Commons

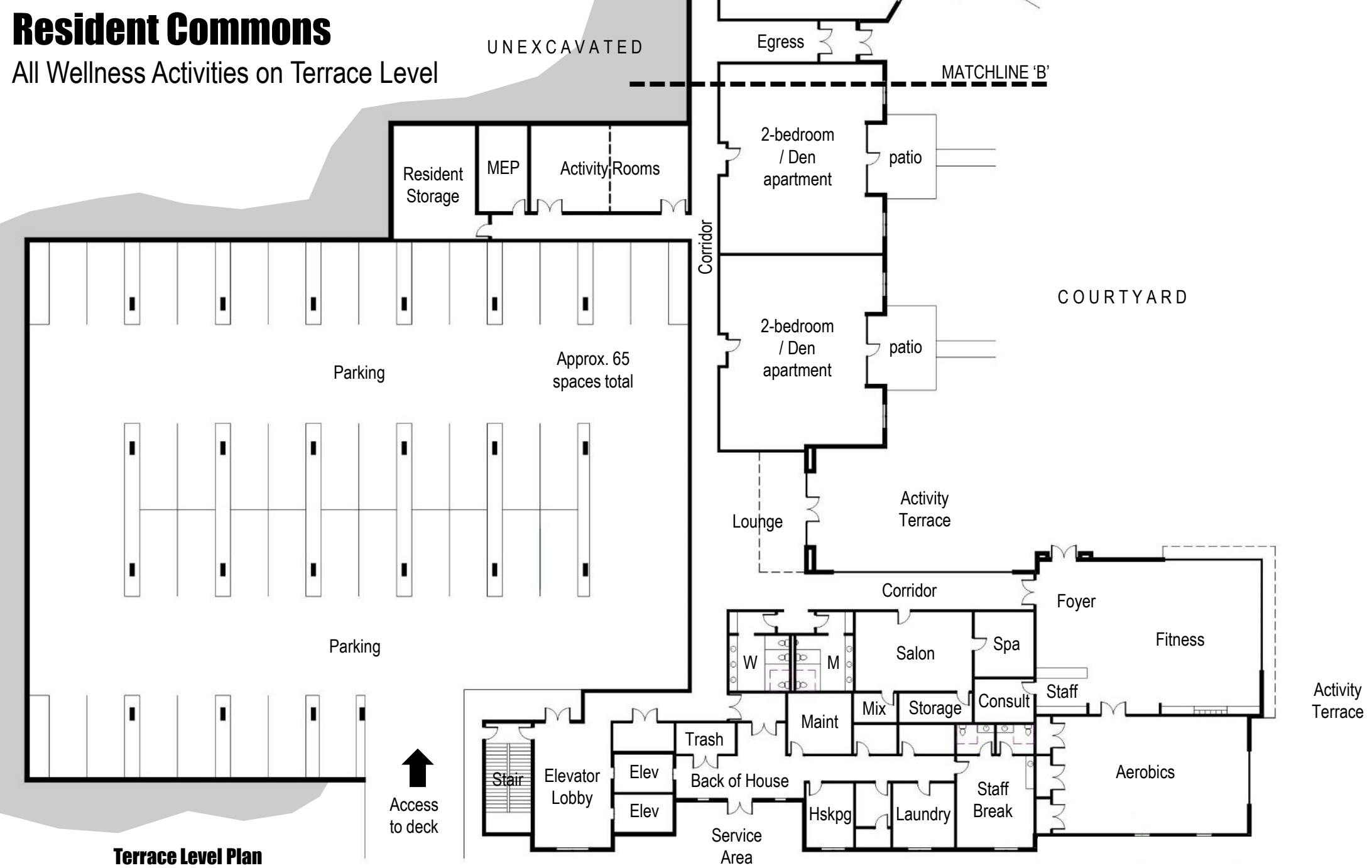
All Dining Venues on Main Level



Ground Level Plan

Resident Commons

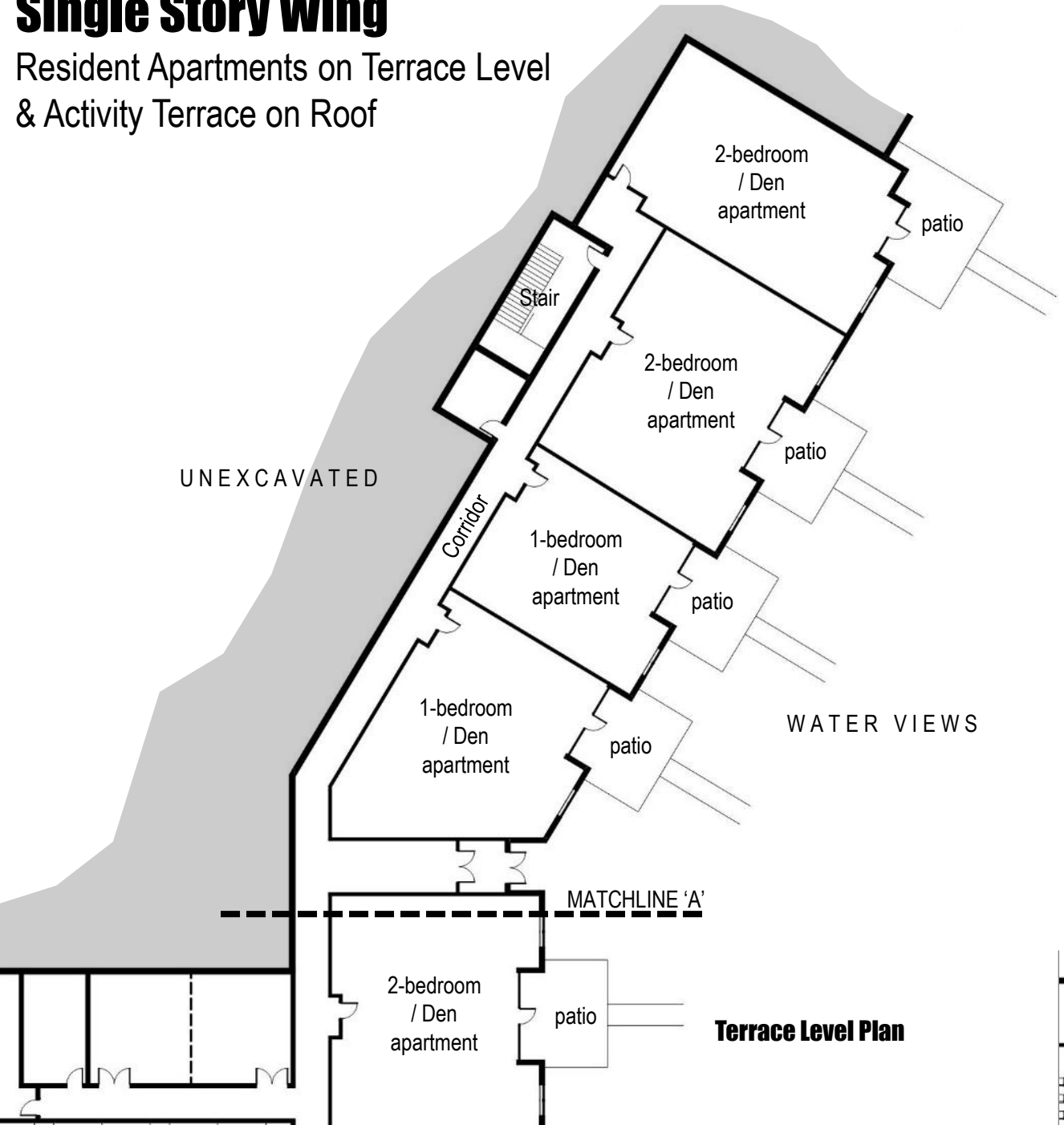
All Wellness Activities on Terrace Level



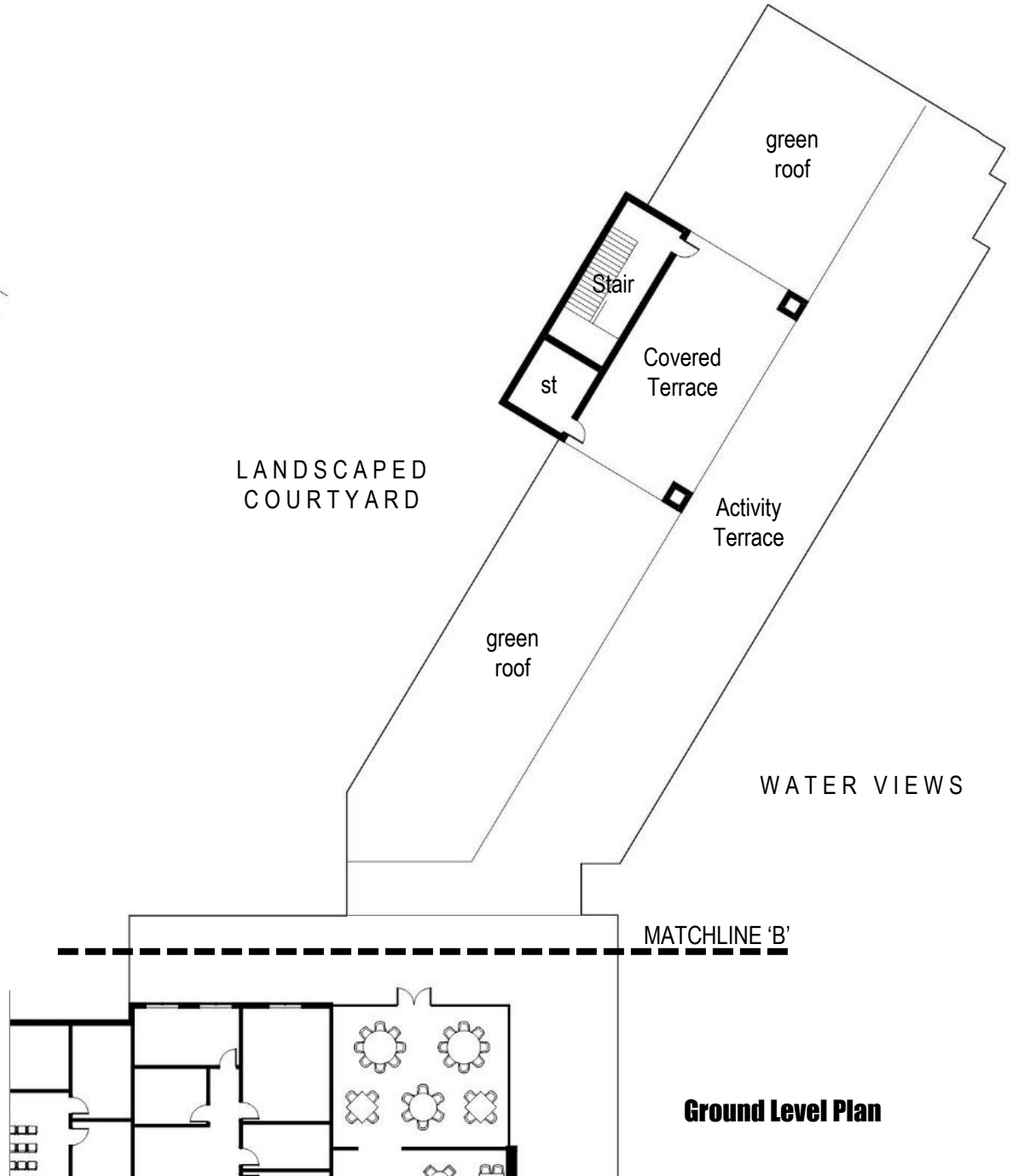
Terrace Level Plan

Single Story Wing

Resident Apartments on Terrace Level
& Activity Terrace on Roof



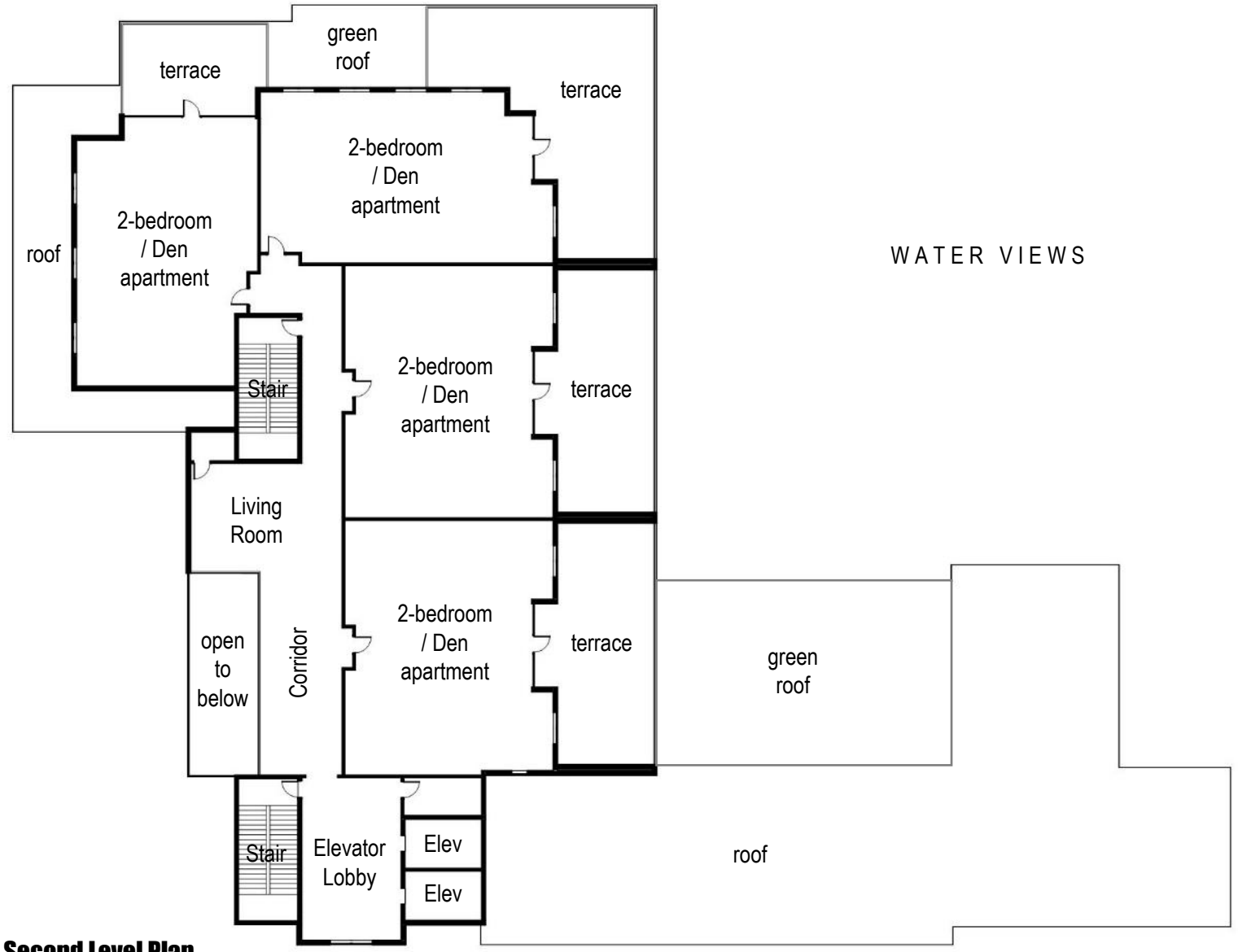
Terrace Level Plan



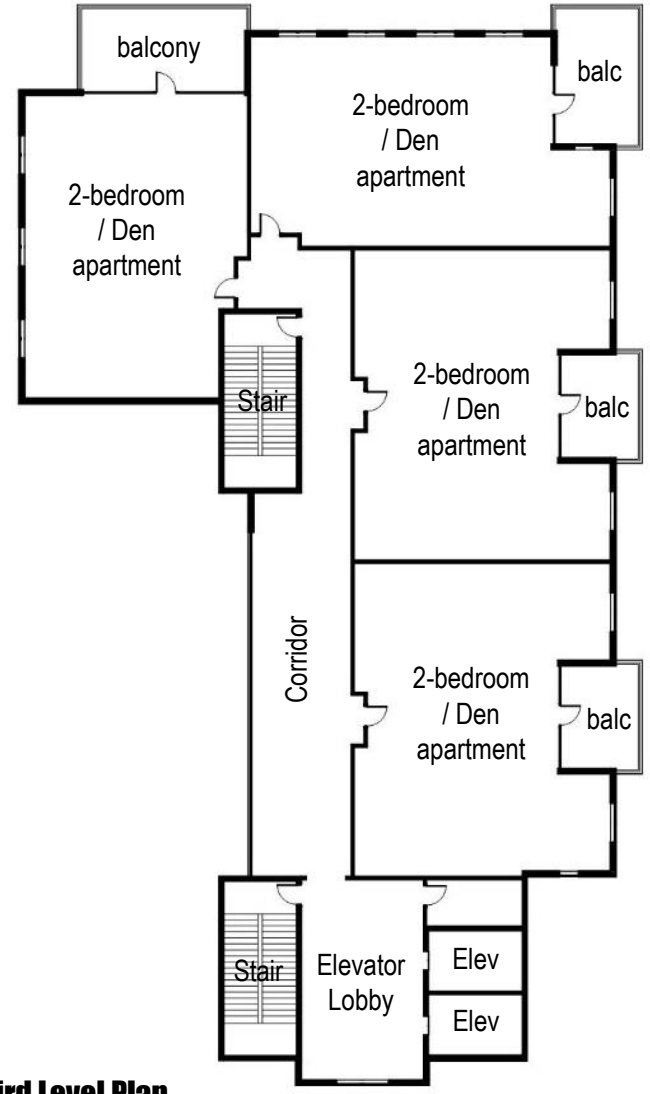
Ground Level Plan

Resident Apartments

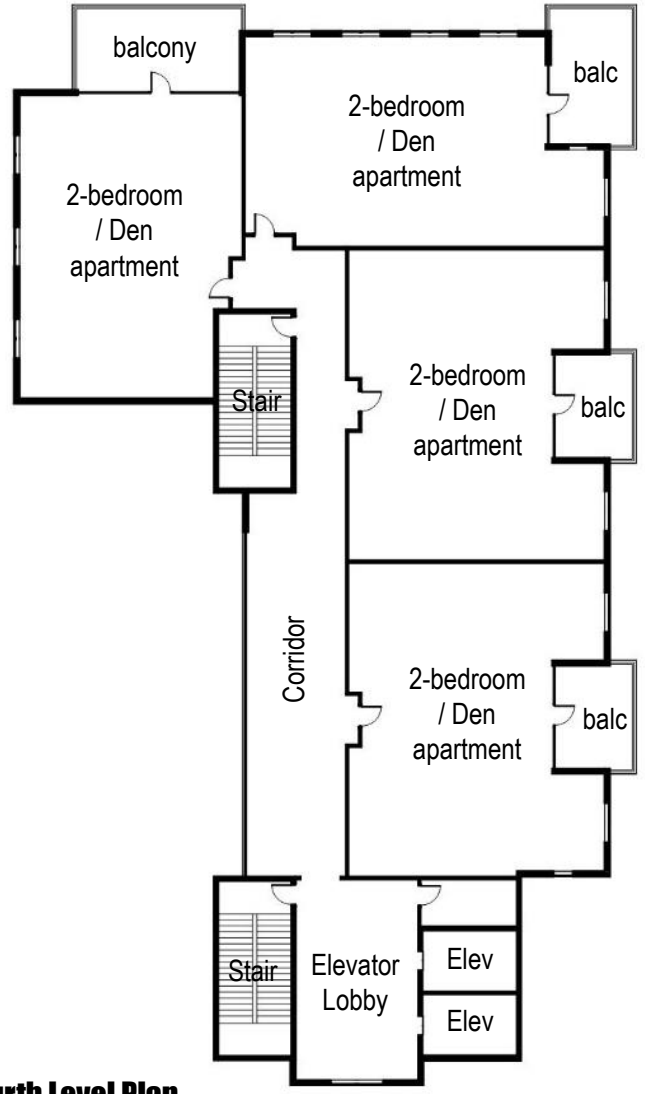
All Wellness Activities on Terrace Level



Second Level Plan



Third Level Plan

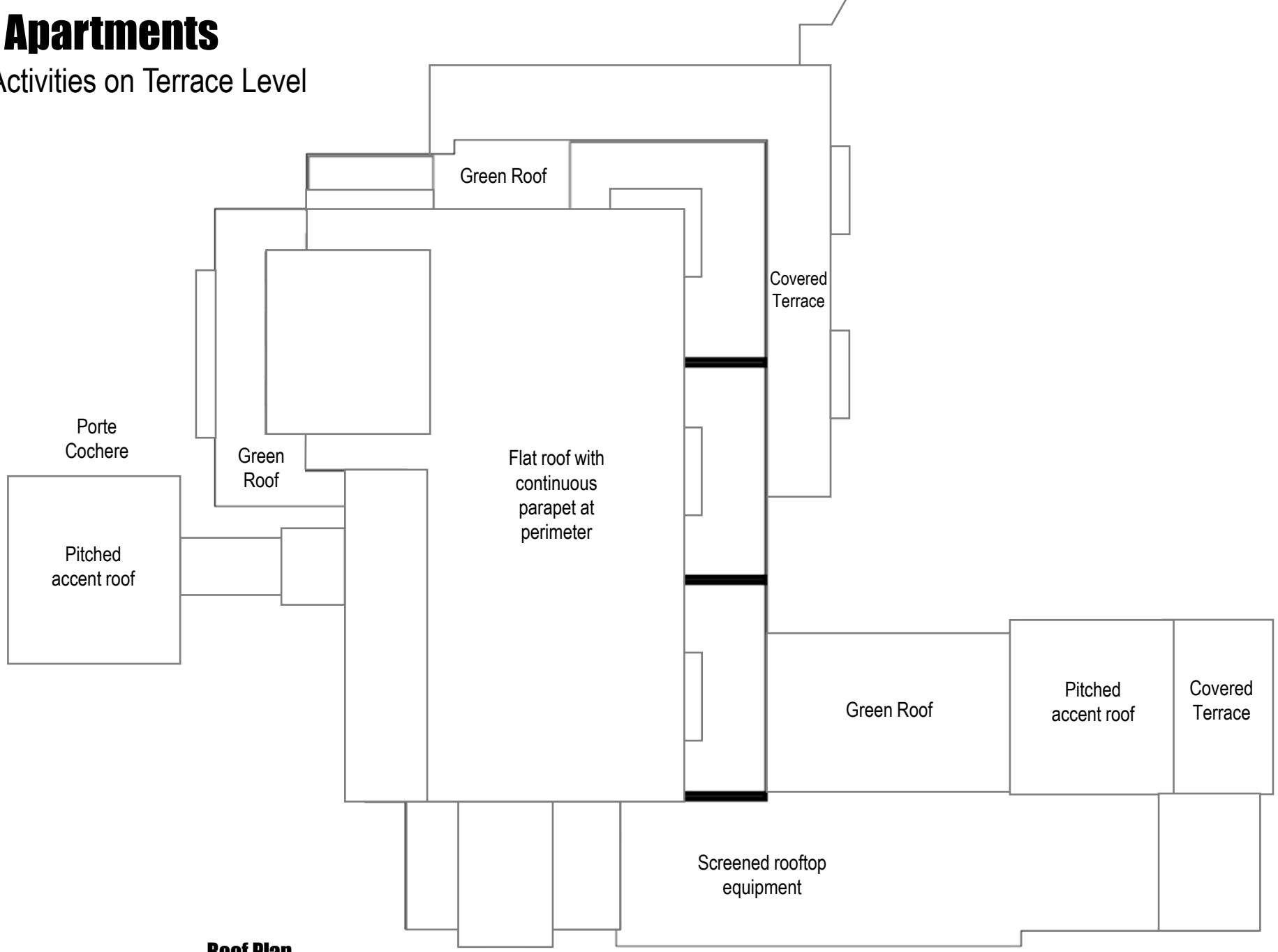


Fourth Level Plan

WATER VIEWS

Resident Apartments

All Wellness Activities on Terrace Level

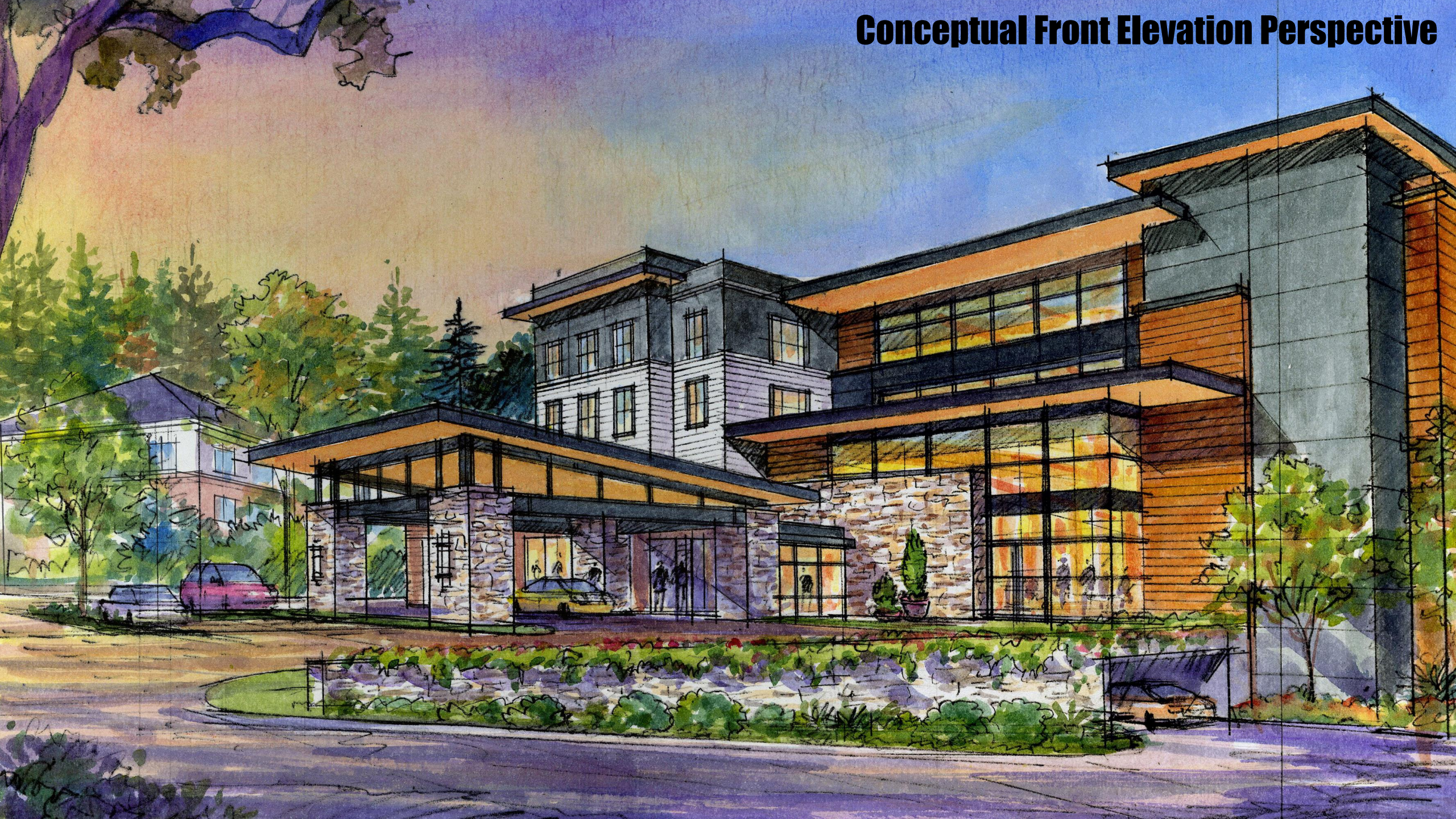


Roof Plan

Regional Architectural Vernacular

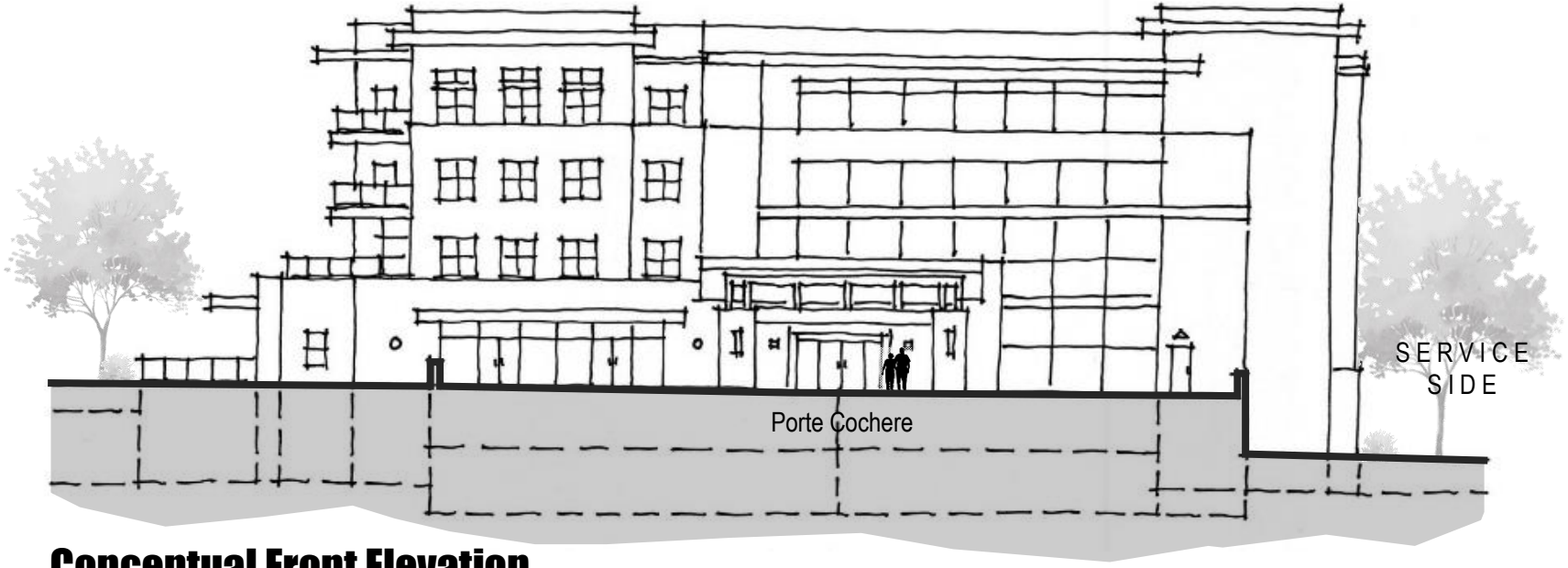
Exterior Massing, Materials, Details, Finishes and Colors

Conceptual Front Elevation Perspective



Conceptual Rear Elevation Perspective

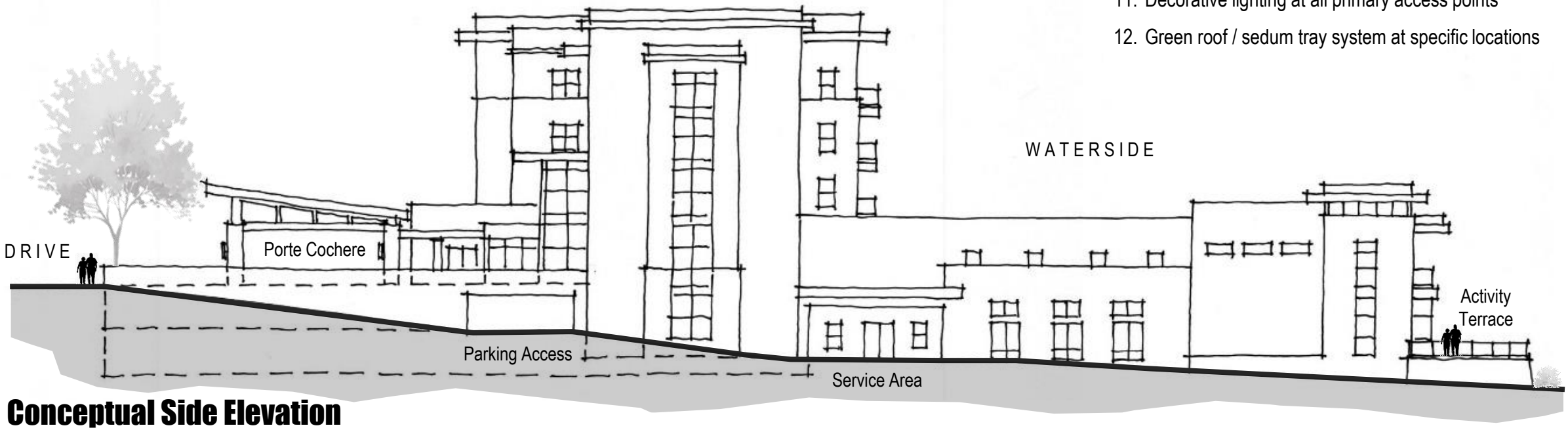
Exterior Elevations



Conceptual Front Elevation

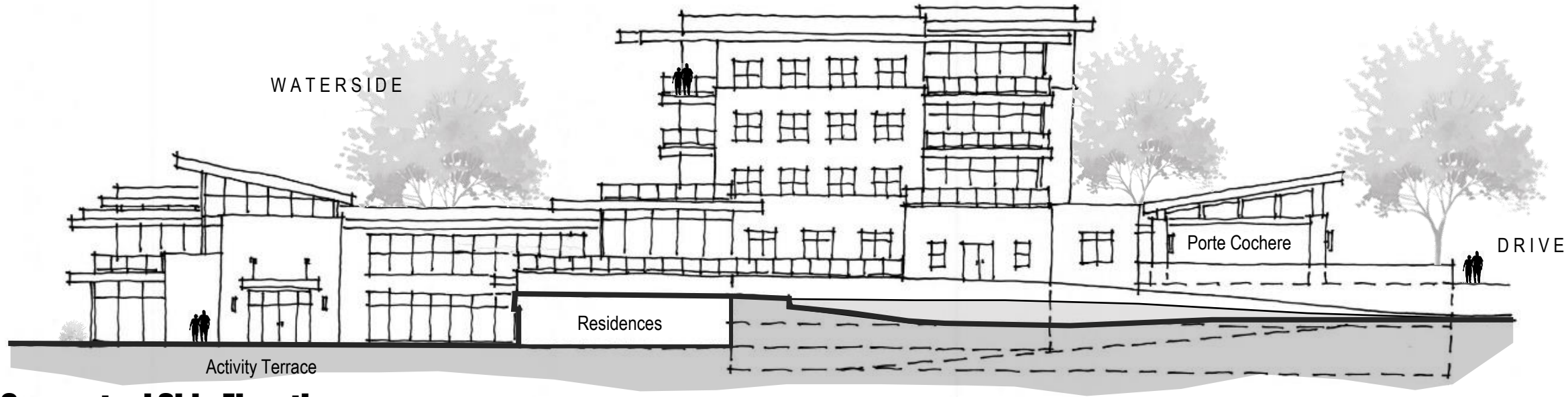
Exterior materials to include:

1. Regional stone veneer
2. Stucco accents
3. Cementitious lap siding
4. Accent plank cladding in wood tones
5. Some exposed beams at feature locations
6. Storefront glazing in commons & living rooms
7. Some spandrel glazing at floor transitions
8. Operable punch windows at residences
9. Metal coping/cladding at roof projections & eyebrows
10. Railing primarily metal with some glass rail accents
11. Decorative lighting at all primary access points
12. Green roof / sedum tray system at specific locations



Conceptual Side Elevation

Conceptual Rear Elevation



Conceptual Side Elevation

Average Building Height Calculations

Calculation based on All building faces

Resident Commons levels – approx. 16’ floor to floor

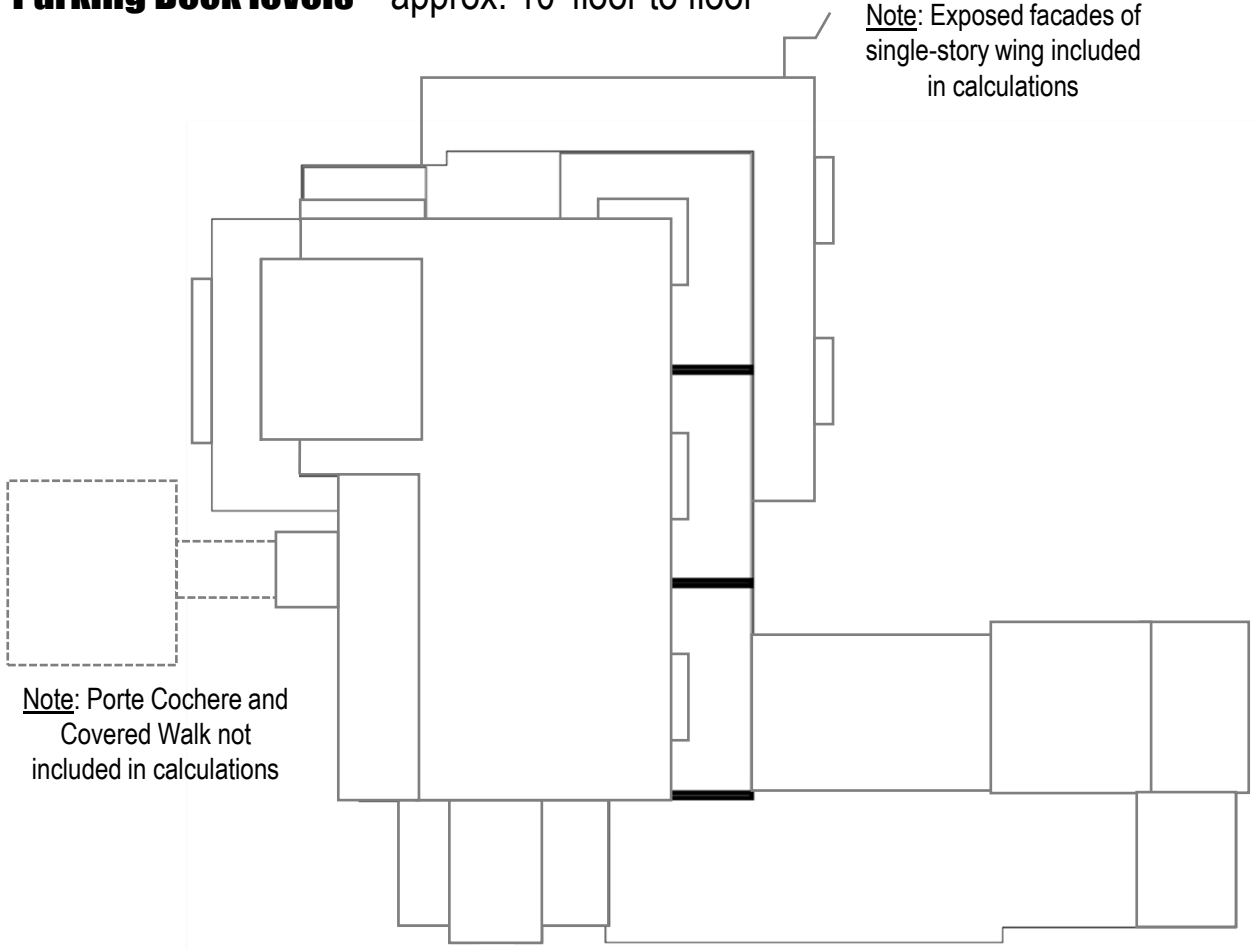
Resident Apartment levels – approx. 11’ floor to floor

Parking Deck levels – approx. 10’ floor to floor

Concept 'A'

Scenario 'A' - façade heights based on grade or from roof/terrace surface at recessed faces

	base heights length	with scenario 'A' length	total length length	percentage	eave ht.	weighted average	
1 level façade	56 LF	0 LF	56 LF	4.6%	6 FT	2.585325639 FT	
	104 LF	0 LF	104 LF	8.6%	11 FT	8.916735367 FT	
	184 LF	0 LF	184 LF	15.2%	12 FT	27.91096455 FT	
	289 LF	78 LF	367 LF	23.8%	16 FT	87.43858203 FT	
	116 LF	22 LF	138 LF	9.6%	18 FT	13.19703215 FT	
	0 LF	40 LF	40 LF	0.0%	24 FT	0 FT	
							61.7%
2 level façade	84 LF	0 LF	84 LF	6.9%	30 FT	5.816982688 FT	
	176 LF	0 LF	176 LF	14.5%	32 FT	25.5366859 FT	
	28 LF	0 LF	28 LF	2.3%	34 FT	0.64633141 FT	
							23.7%
3 level façade	0 LF	282 LF	282 LF	0.0%	35 FT	0 FT	
	40 LF	0 LF	40 LF	3.3%	36 FT	1.319043693 FT	
	30 LF	0 LF	30 LF	2.5%	38 FT	0.741962077 FT	
							5.8%
4 level façade	28 LF	110 LF	138 LF	2.3%	39 FT	3.185490519 FT	
	0 LF	0 LF	0 LF	0.0%	40 FT	0 FT	
	0 LF	32 LF	32 LF	0.0%	41 FT	0 FT	
	22 LF	0 LF	22 LF	1.8%	44 FT	0.399010717 FT	
	0 LF	0 LF	0 LF	0.0%	53 FT	0 FT	
	0 LF	0 LF	0 LF	0.0%	57 FT	0 FT	
	0 LF	0 LF	0 LF	0.0%	67 FT	0 FT	
							4.1%
5 level façade	56 LF	0 LF	56 LF	4.6%	73 FT	2.585325639 FT	4.6%
					Average Height		
total	1,213 LF	564 LF	1,777 LF	100.0%	23 FT	23.274525969 FT	



Note: Exposed facades of single-story wing included in calculations

Note: Porte Cochere and Covered Walk not included in calculations

Average Building Height Calculations

Calculation based on All building faces

Resident Commons levels – approx. 16’ floor to floor

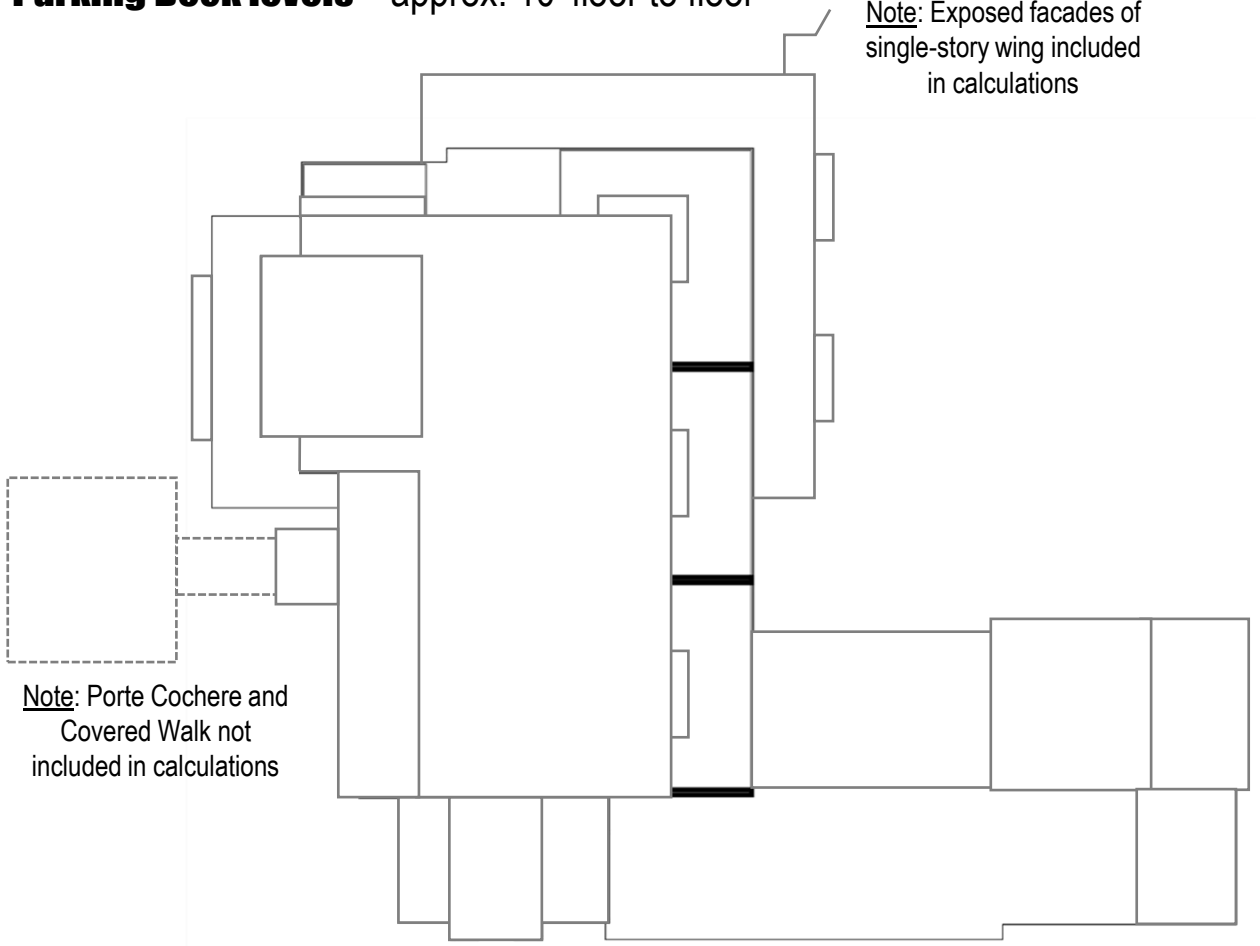
Resident Apartment levels – approx. 11’ floor to floor

Parking Deck levels – approx. 10’ floor to floor

Concept 'B'

Scenario 'B' - façade heights based on grade including set back recessed faces

	base heights	with scenario 'B'	total length				
	length	*length*	*length*	*percentage*	*eave ht.*	*weighted average*	
1 level façade	56 LF	0 LF	56 LF	3.2%	6 FT	1.764772088 FT	
	104 LF	0 LF	104 LF	5.9%	11 FT	6.086662915 FT	
	184 LF	0 LF	184 LF	10.4%	12 FT	19.0523354 FT	
	289 LF	0 LF	289 LF	16.3%	16 FT	47.00112549 FT	
	116 LF	0 LF	116 LF	6.5%	18 FT	7.572312887 FT	
	0 LF	0 LF	0 LF	0.0%	24 FT	0 FT	
							42.1%
2 level façade	84 LF	0 LF	84 LF	4.7%	30 FT	3.970737198 FT	
	176 LF	78 LF	254 LF	14.3%	32 FT	36.30613393 FT	
	28 LF	22 LF	50 LF	2.8%	34 FT	1.406865504 FT	
							21.8%
3 level façade	0 LF	0 LF	0 LF	0.0%	35 FT	0 FT	
	40 LF	0 LF	40 LF	2.3%	36 FT	0.900393922 FT	
	30 LF	0 LF	30 LF	1.7%	38 FT	0.506471581 FT	
	28 LF	0 LF	28 LF	1.6%	39 FT	0.441193022 FT	
	0 LF	40 LF	40 LF	2.3%	40 FT	0.900393922 FT	
	0 LF	0 LF	0 LF	0.0%	41 FT	0 FT	
	22 LF	0 LF	22 LF	1.2%	44 FT	0.272369162 FT	
							9.0%
4 level façade	0 LF	140 LF	140 LF	7.9%	53 FT	11.02982555 FT	
	0 LF	110 LF	110 LF	6.2%	57 FT	6.809229038 FT	
							14.1%
5 level façade	0 LF	142 LF	142 LF	8.0%	67 FT	11.34721441 FT	
	56 LF	32 LF	88 LF	5.0%	73 FT	4.357906584 FT	12.9%
					Average Height		
total	1,213 LF	564 LF	1,777 LF	100.0%	33 FT	32.98593134 FT	



- **39+5' or 44' (average) building height**
- Base building might not be applicable since building is not fronting a road/street
- Max. Stories of 3 is the main concern (portions will exceed that number)

	TC-5	TC-4 TC-4 Plus	TC-3	TCMF-3	TCMF-4
Base Building Height Allowed	27 feet	27 feet	27 feet	27 feet	27 feet
Base Building Stories Allowed	2	2	2	2	2
Maximum Allowable Building Height	63 feet	TC-4: 51 feet TC-4 Plus: 63 feet	39 feet	39 feet	51 feet
	Up to 5 additional feet allowed for parapet and/or sloped roof.				
Maximum Allowable Building Stories	5	TC-4: 4 TC-4 Plus: 5	3	3	4
Ground Floor Height Adjacent to Streets	15 feet minimum, 27 feet maximum			n/a	n/a
Setback from Property Lines	No minimum setback required except where necessary to provide landscaping, facade modulation, through-block connection or an easement for required sidewalk width.				
Required Upper Story Setback (Average Daylight Plane)	All street frontages are subject to the average daylight plane standards described in subsection (A)(7) of this section.				

There are 2 sections referenced in the zoning ordinance as per an email referenced from Juna

There are the links for both the codes referenced in that email. PDF of the relevant sections are attached.

Chapter 19.02 - RESIDENTIAL | City Code | Mercer Island, WA | Municode Library

Chapter 19.11 - TOWN CENTER DEVELOPMENT AND DESIGN STANDARDS | City Code | Mercer Island, WA | Municode Library

ALLOWABLE AVERAGE +30' OR ACTUAL AVERAGE +30'?

E. *Building height limit.*

1. *Maximum building height.* No building shall exceed 30 feet in height above the average building elevation to the highest point of the roof.
2. *Maximum building height on downhill building facade.* The maximum building facade height on the downhill side of a sloping lot shall not exceed 30 feet in height. The building facade height shall be measured from the existing grade or finished grade, whichever is lower, at the furthest downhill extent of the proposed building, to the top of the exterior wall facade supporting the roof framing, rafters, trusses, etc.
3. Antennas, lightning rods, plumbing stacks, flagpoles, electrical service leads, chimneys and fireplaces, solar panels, and other similar appurtenances may extend to a maximum of five feet above the height allowed for the main structure in subsections (E)(1) and (2) of this section; provided:
   a. Solar panels shall be designed to minimize their extension above the maximum allowed height, while still providing the optimum tilt angle for solar exposure.
   b. Rooftop railings may not extend above the maximum allowed height for the main structure.
4. The formula for calculating average building elevation is as follows:

Formula: Average Building Elevation = (Weighted Sum of the Mid-point Elevations) ÷ (Total Length of Wall Segments)

Where: Weighted Sum of the Mid-point Elevations = The sum of: ((Mid-point Elevation of Each Individual Wall Segment) × (Length of Each Individual Wall Segment))

For example for a house with ten wall segments:

$$(A \times a) + (B \times b) + (C \times c) + (D \times d) + (E \times e) + (F \times f) + (G \times g) + (H \times h) + (I \times i) + (J \times j)$$

$$a + b + c + d + e + f + g + h + i + j$$

Where: A, B, C, D... = The existing or finished ground elevation, whichever is lower, at midpoint of wall segment.

And: a, b, c, d... = The length of wall segment measured on outside of wall.

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There are the links for both the codes referenced in that email. PDF of the relevant sections are attached.

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3. *Calculation of building height.*

   a. The intent of the building height calculation in this section is to limit the visual mass of a building so that it does not appear to exceed the maximum height limit in subsection (A)(1) of this section.

   b. The maximum allowable building height in subsection (A)(1) of this section shall be calculated as the vertical distance measured from the base of a building facade to the highest point of the roof structure excluding appurtenances. The base of the building facade shall be measured from the adjacent public sidewalk if applicable, or from the lower of existing or finished grade along building facades that are not adjacent to a public sidewalk. See Figure 4.

   c. If the bases of the opposite building facades are at approximately the same elevation, then the building height at any point between the facades can never exceed the maximum permitted building height. If the bases of the opposite building facades are not at approximately the same elevation, then the building must be configured to go down in height as between the higher and lower facades in a manner similar to Figure 4 or in an equivalent manner such that the average of the building heights calculated between the facades is approximately equal to or less than the maximum permitted building height.
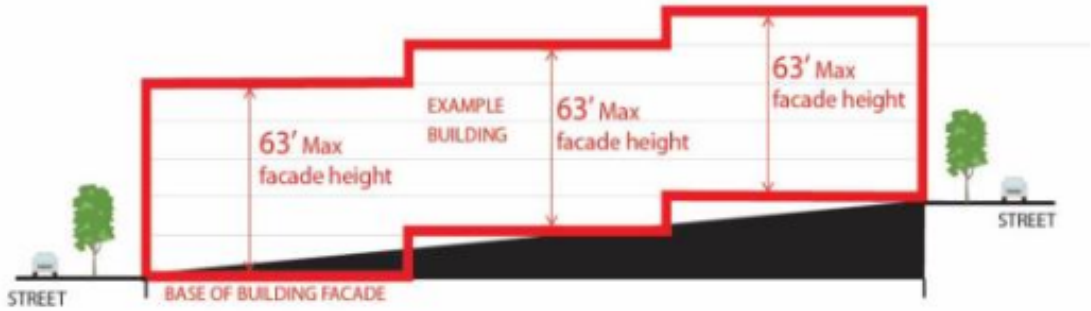
Figure 4 — Maximum Building Height